

SEPA¹ Environmental Checklist

Purpose of checklist

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization, or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. **You may use “not applicable” or “does not apply” only when you can explain why it does not apply and not when the answer is unknown.** You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to **all parts of your proposal**, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for lead agencies

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

Use of checklist for nonproject proposals

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B, plus the Supplemental Sheet for Nonproject Actions (Part D). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in “Part B: Environmental Elements” that do not contribute meaningfully to the analysis of the proposal.

¹ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/Checklist-guidance>

A. Background

[Find help answering background questions²](#)

1. Name of proposed project, if applicable:

Ocean Beach Hospital Clinic Expansion and Express Care

2. Name of applicant:

Ocean Beach Hospital

3. Address and phone number of applicant and contact person:

Applicant: Merry-Ann Keane, CEO

176 1st Avenue N.

Ilwaco, WA 98624

(360) 642-6300

mkeane@oceanbeachhospital.com

Contact: Peggy Huerta

2 Nickerson Ste. 200

Seattle, WA 98109

(206) 580-0839

phuerta@boulderassociates.com

4. Date checklist prepared:

2/11/26

5. Agency requesting checklist:

City of Ilwaco

6. Proposed timing of schedule (including phasing, if applicable):

Construction will begin in May 2026 and end in February 2027.

Phase 1: Site Work + Express Care 5/2026 – 9/2026

Phase 2: Ilwaco Clinic West 9/2026 – 1/2027

Phase 3: Ilwaco Clinic East 1/2027 – 2/2027

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

There are no future plans for additions or expansion on this site after the completion of this project.

² <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-A-Background>

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

No additional environmental information relating to this proposal has been or will be prepared.

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

There are no known pending approvals of other proposals that will directly impact this project.

10. List any government approvals or permits that will be needed for your proposal, if known.

The following government approvals or permits will be needed for this project.

- City of Ilwaco Planning approval
- City of Long Beach Building Permit approval

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

This project proposes a building addition and parking lot upgrade for the Ocean Beach Hospital Clinic. A building which used to be directly north of the existing hospital has been demolished under a separate project, and the 4,600 SF clinic expansion will be constructed in its place. The gravel parking lot to the east of the proposed building location will be paved and redesigned to include a patient drop-off lane, striped parking, and ADA access. A concrete pad for a mobile imaging truck will be installed in the existing asphalt parking lot, adjacent to the clinic. Necessary stormwater management facilities will be constructed on site.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

The proposed building is to be located at 218 Ash Street in Ilwaco, Washington. Latitude and longitude at the project location is 46.312329, -124.042274. The gravel parking lots located to the east of this street address will be paved. All development will occur in Township 10 North, Range 11 West, in the SW ¼ of the NE ¼ of Section 33 on tax lots 10113313985 and 10113313885. These tax lots will be combined.

B.Environmental Elements

1. Earth

[Find help answering earth questions](#)³

a. General description of the site:

Circle or highlight one: Flat, rolling, hilly, steep slopes, mountainous, other:

The project site topography is rolling, sloping generally from the northwest to the southeast. Steep slopes are located outside the project site, mainly in undeveloped areas.

b. What is the steepest slope on the site (approximate percent slope)?

The steepest slope on the project site is approximately 8.5 percent at the southeast corner of the gravel parking area, per the topographic survey conducted in August 2021. The rest of the site maintains slopes of less than 5 percent.

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them, and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

Soil at the project site is Lebam silt loam with 5 to 30 percent slopes (Natural Resources Conservation Service (NRCS) 2024). This soil is considered to be well-drained and is not hydric, with a depth to water table of more than 80 inches. Although the NRCS classifies this soil as being farmland of statewide importance, the area is fully developed commercial and residential property, so soil removal will not impact commercial agriculture.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

There are no surface indications of unstable soils in the immediate vicinity of the project site. The project site is fully developed with gravel parking and landscaping. No onsite slopes are greater than 8.5 percent. There are steep, vegetated slopes with wetlands in excess of 200 feet to the east of the site, but this development will not impact this slope or these wetlands.

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

Paving an existing parking lot and constructing a new building in place of a demolished building will require minimal earthwork. 280 cubic yards of soil will be excavated from the site, mostly around the proposed building location and the south part of the site.

³ <https://ecology.wa.gov/regulations-permits/sepa/environmental-review/sepa-guidance/sepa-checklist-guidance/sepa-checklist-section-b-environmental-elements/environmental-elements-earth>

130 cubic yards of fill will be required to raise low points to create flat surfaces. Contractor is to determine the source of fill.

The total area of earthwork is 34,600 square feet.

f. Could erosion occur because of clearing, construction, or use? If so, generally describe.

Soil across the 0.8-acre site will be exposed throughout all three construction phases. Erosion control implementation will respond to the construction activity and weather during the 10-month work window. Necessary erosion control Best Management Practices (BMPs) will be employed during periods of excavation, earthwork and ground clearing. Silt fences will be installed along the property line as necessary to prevent sediment from exiting the site. After construction, all impervious surfaces susceptible to erosion will be planted according to the landscape plan.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Of the approximately 33,205 square foot area within the project grading limits, approximately 79 percent, or 26,360 SF, will be impervious after project completion. Under existing conditions 72 percent, or 23,911 SF of the area within the project grading limits is currently impervious surface. The proposed impervious surface includes a new clinic building with gravel utility yard, paved parking lot, concrete sidewalk, and concrete pad for a mobile MRI to replace the existing gravel parking and asphalt within the project boundary.

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any.

To prevent sediment impacting onsite and offsite infrastructure during construction, appropriate erosion control BMPs will be utilized. These measures include straw wattles, sediment fence and inlet protection. All exposed soils will be covered and stabilized. The project will restore disturbed areas with approved native grasses and groundcover.

2. Air

[Find help answering air questions](#)⁴

a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

Construction activities like demolition, excavation and other grading activities have the potential to produce dust. All combustion fuel-based equipment will produce typical emissions while in use during construction. Emissions associated with asphalt concrete

⁴ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-Air>

are expected during the paving process. The project will not result in any long-term air emissions.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

There are no known off-site sources of emissions or odor that may affect this project proposal.

c. Proposed measures to reduce or control emissions or other impacts to air, if any:

Construction equipment will have standard emission control equipment as required by law. The Contractor will follow standard dust control practices.

3. Water

[Find help answering water questions⁵](#)

a. Surface:

[Find help answering surface water questions⁶](#)

1. Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

There are no water bodies or wetlands on the project site. However, there are wetlands located in the general project vicinity. The National Wetland Inventory (NWI) maps a freshwater emergent wetland and freshwater forested/shrub wetland approximately 155 feet (at its closest) to the project limits on the southeast side of the project. NWI also maps a freshwater emergent wetland approximately 200 feet to the west. The wetland to the southeast is in an undeveloped area downslope and east of the site, and the wetland to the west is in an undeveloped area across the road from the project site and down a slope. The project will not extend any closer to these wetlands than the existing development on the project site. Black Lake is located 700 feet to the north, and the Columbia River is 0.5 miles south.

2. Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

This project will require work within 200 feet of NWI-mapped wetlands. However, there is existing paved infrastructure between the project and wetland boundaries. The wetlands approximately 200 feet to the west are separated from the project site by Highway 101. Work within 200 feet of this wetland includes trenching and

⁵ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-3-Water>

⁶ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-3-Water/Environmental-elements-Surface-water>

repaving in the northbound lane of Highway 101 to establish connections to public utilities. The wetlands approximately 155 feet to the southeast are separated from the project site by existing paved hospital parking. The existing gravel parking lot onsite will be redeveloped within 200 feet of this wetland. Minor earthwork will be required for the addition of base course and asphalt, as final surface grades will match existing elevations. Standard 6 inch curb will surround the parking lot. This project will not impact any areas closer to the wetlands than are already developed. All stormwater runoff will be managed within the project boundary.

- 3. Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.**

No fill or dredge material will be placed in or removed from surface water or wetlands as part of this project.

- 4. Will the proposal require surface water withdrawals or diversions? Give a general description, purpose, and approximate quantities if known.**

The project will not require any surface water withdrawals or diversions.

- 5. Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.**

The project is mapped as FEMA Zone X and does not lie within a 100-year floodplain.

- 6. Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.**

There will be no discharge of waste materials into surface waters. All temporary TESC measures and BMPs will be installed prior to vegetation clearing and other construction activities. They will be maintained throughout the duration of construction activities to prevent untreated construction stormwater from entering surface waters.

b. Ground:

[Find help answering ground water questions⁷](#)

- 1. Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give a general description, purpose, and approximate quantities if known.**

No, there will be no groundwater withdrawal from a well or discharges to groundwater for any purpose on this project.

⁷ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-3-Water/Environmental-elements-Groundwater>

2. **Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.**

No waste material will be discharged into the ground as part of this project.

c. Water Runoff (including stormwater):

1. **Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.**

The project is increasing the impervious area by 2,449 square feet. To manage the increased runoff, onsite stormwater will be directed to inlets and detained before being released into the public stormwater system. Proposed stormwater management includes water quality catch basins designed to treat runoff from pollution-generating surfaces around the site. Roof drains for the proposed hospital expansion and area drains in landscape will capture runoff from nonpollution-generating surfaces. All runoff captured on-site will be detained in an underground arch chamber system and discharged to the existing storm system under First Avenue using a flow control manhole.

2. **Could waste materials enter ground or surface waters? If so, generally describe.**

No waste materials are anticipated to enter the groundwater or surface water as part of this project. All runoff will be treated before entering the public storm system.

Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

Due to minimal site grading, this proposal does not alter the existing surface drainage pattern. Storm runoff will continue to shed generally to the southeast corner of the site. However, this project will install storm inlets to prevent runoff from leaving the site as it does in its current condition. Storm filter catch basins will treat runoff from pollutant generating surfaces and area drains will collect runoff from landscape areas. All stormwater will be detained in an underground facility before being discharged to the public storm system.

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

Proposed measures to control stormwater runoff are described above in the "Water Runoff (including stormwater)" section.

4. Plants

[Find help answering plants questions](#)

a. Check the types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- orchards, vineyards, or other permanent crops.
- wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

Vegetation on the project site consists of lawn and landscape vegetation surrounding the house that used to exist onsite, a couple of fir trees in the parking lot, and ornamental shrubs (including rhododendron and others) surrounding the existing clinic building.

b. What kind and amount of vegetation will be removed or altered?

The 9,730 SF lawn and landscape vegetation surrounding the house that used to exist onsite will be removed. Two fir trees will be removed in the existing gravel parking lot. After construction, approved landscape vegetation will be established around the clinic expansion and in curb islands in the parking lot. 6,900 SF of coastal native shrubs and grasses will be established for the final condition. An additional 1,300 SF of shrubs, grasses and trees will be planted along the public right-of-way and in the parking lot to provide a visual buffer and shade.

c. List threatened and endangered species known to be on or near the site.

The U.S. Fish and Wildlife Service does not consider there to be any Threatened or Endangered plant species in the general vicinity of the project area.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any.

Landscaping around the addition will include coastal shrubs including Sunset manzanita and Pacific rhododendron, and grasses including sedge and prairie junegrass. Native shade plants including salal and western sword fern are proposed in planters surrounding the parking lot. Please see the appendix for a complete list of proposed plant species.

e. List all noxious weeds and invasive species known to be on or near the site.

No noxious weeds or invasive species were observed on the project site. English Ivy (*Hedera helix*) and Himalayan Blackberry (*Rubus armeniacus*) were observed adjacent to the project area to the east, but outside of the project limits.

5. Animals

[Find help answering animal questions](#)⁸

a. List any birds and other animals that have been observed on or near the site or are known to be on or near the site.

Examples include:

- **Birds:** hawk, heron, eagle, **songbirds**, other:
- **Mammals:** deer, bear, elk, beaver, other: **Squirrels**
- **Fish:** bass, salmon, trout, herring, shellfish, other:

b. List any threatened and endangered species known to be on or near the site.

The U.S. Fish and Wildlife Service IPaC Resource List considers the general project area to have the potential for the following Endangered Species Act-listed terrestrial species:

- marbled murrelet (*Brachyramphus marmoratus*)(Threatened)
- streaked horned lark (*Eremophila alpenstris strigata*)(Threatened)
- western snowy plover (*Charadrius nivosus nivosus*)(Threatened)
- yellow-billed cuckoo (*Coccyzus americanus*)(Threatened)

However, the immediate project area is an existing developed parcel in the town of Ilwaco, and the parcel does not contain habitat for any of these species.

The Columbia River, the closest point of which is approximately 0.5 miles to the south, is known for having numerous runs of Threatened and Endangered salmonids and other fish species:

Chinook salmon (*Oncorhynchus tshawytscha*)

- Lower Columbia River evolutionarily significant unit (ESU) (Threatened)
- Upper Columbia River spring-run ESU (Endangered)
- Snake River fall-run ESU (Threatened)
- Snake River spring/summer-run ESU (Threatened)
- Upper Willamette River ESU (Threatened)

Coho salmon (*Oncorhynchus kisutch*)

- Lower Columbia River ESU (Threatened)

⁸ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-5-Animals>

Chum salmon (*Oncorhynchus keta*)

- Lower Columbia River ESU (Threatened)

Sockeye salmon (*Oncorhynchus nerka*)

- Snake River ESU (Endangered)

Steelhead trout (*Oncorhynchus mykiss*)

- Lower Columbia River DPS (Threatened)
- Middle Columbia River DPS (Threatened)
- Upper Columbia River DPS (Threatened)
- Snake River DPS (Threatened)
- Upper Willamette River DPS (Threatened)

Green sturgeon (*Acipenser medirostris*)

- Southern DPS (Threatened)

Eulachon (Smelt) (*Thaleichthys pacificus*)

- Southern DPS (Threatened)

Bull Trout (*Salvelinus confluentus*)

- Columbia River DPS (Threatened)

c. Is the site part of a migration route? If so, explain.

Yes, the project site is part of the Pacific Flyway, the major bird migration corridor for birds in North America west of the continental divide. Fish species use the Columbia River for migration.

d. Proposed measures to preserve or enhance wildlife, if any.

Storm filter catch basins will treat water prior to release to the public stormwater system that ultimately outlets to the Columbia River. Treating this runoff will help to reduce pollutants that have the potential to affect fish.

e. List any invasive animal species known to be on or near the site.

No invasive animal species are known to be on or near the site.

6. Energy and natural resources

[Find help answering energy and natural resource questions](#)⁹

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Electricity will be used to provide heat and power for the proposed clinic expansion. A new service for the expansion will be established on the north side of the building.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

The proposed building height varies from 10 feet to 24 feet tall and may provide shade to the home directly to the north, on the other side of Ash Street. However, the

⁹ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-6-Energy-natural-resou>

proposed structure has a similar maximum height as the existing home that was recently removed from the site.

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any.**

A variety of energy efficient packages compliant with the International Energy Conservation Code (IECC) are proposed to enhance the building envelope performance. Energy efficient systems include cooling and fan efficiency, improved HVAC Total System Performance Ratio (TSPR), Low-Carbon Energy System, Reduced lighting power, a heat pump, and efficient elevators.

7. Environmental health

[Health Find help with answering environmental health questions](#)¹⁰

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur because of this proposal? If so, describe.**

The construction Contractor will be using fuels (gasoline/diesel), hydraulic fluids, lubricants and concrete mixtures, so there is the potential for spills and leaks. The project will incorporate BMPs to reduce the chance of any spills or leaks that could cause an environmental impact. All medical-related biohazardous waste will be contained and disposed of properly.

- 1. Describe any known or possible contamination at the site from present or past uses.**

The Washington Department of Ecology (Ecology) “What’s in My Neighborhood: Toxic Cleanup” website was utilized to search for potential contamination on the project site. There is no known contamination or toxic cleanup documented on the project’s site.

- 2. Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.**

The Washington Department of Ecology (Ecology) Facility/Site Records, was utilized to locate known hazardous conditions within the project’s vicinity. The Ilwaco Town Maintenance Shop is about 100 feet from the site and has documented underground storage tanks and pipes. National Pipeline Mapping System and project utility survey do not show hazardous transmission lines within project boundary.

- 3. Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.**

¹⁰ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-7-Environmental-health>

During construction, fuels and chemicals (gas diesel, hydraulic fluids, lubricants, and concrete mixtures) will be used and stored on-site. However, there will not be toxic or hazardous chemicals stored, used or produced onsite during the operating life of the facility.

4. Describe special emergency services that might be required.

Contractors will follow the necessary safety procedures in the event of a spill. Since no major hazardous material storage will occur onsite, special emergency services are not anticipated.

5. Proposed measures to reduce or control environmental health hazards, if any.

The construction Contractor will follow state and federal regulations and BMPs to manage and dispose of toxic chemicals, preventing contamination during the construction process.

b. Noise

1. What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

Existing noise in the project area includes traffic noise from Highway 101, which is the western boundary of the project site. Emergency vehicle sirens are also anticipated at the adjacent hospital building.

2. What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site)?

There will be temporary, short-term noise due to sounds from construction equipment. Construction activities will be limited to typical daytime hours. As this facility will be used as a medical clinic, only minor traffic noise associated with regular patronage during working hours is expected long-term.

3. Proposed measures to reduce or control noise impacts, if any:

Construction will occur during daylight hours. Construction equipment will be maintained to avoid excessive noise and will use noise-reducing equipment (mufflers, etc.).

8. Land and shoreline use

[Find help answering land and shoreline use questions](#)¹¹

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

The Ocean Beach Hospital and the Public Healthcare Services acquired the site properties between 2006 and 2010. The land was previously home to a building on the west side of the project site known as the Historic John Strand home, a residential

¹¹ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-8-Land-shoreline-use>

building built in 1894 and a local landmark. The building was removed in 2025. The gravel parking lot that's encompasses most of the site area serves as an overflow lot for the Ocean Beach Hospital directly to the south.

- b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses because of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?**

The project site had been a residential property for over a century. No agricultural or forest land will be converted to other uses as part of this proposal.

- 1. Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how?**

The project will neither affect, nor be affected by, surrounding working farm or forest land normal business operations as there is not any working farm or forest land in the project vicinity.

- c. Describe any structures on the site.**

The proposed building expansion will be connected to the north side of the existing clinic. The existing clinic and associated electrical equipment to the east are the only structures on the project site.

- d. Will any structures be demolished? If so, what?**

This project will require partial demolition at two locations on the north face of the existing clinic. The wall will be demolished and reconstructed at the tie-in points to the addition.

- e. What is the current zoning classification of the site?**

The site is currently zoned as C-2, Low-Density Commercial, per the City of Ilwaco Zoning Map (2025).

- f. What is the current comprehensive plan designation of the site?**

Pacific County designated the site as Incorporated in the Urban Growth Boundary per the 2021 Comprehensive Plan.

- g. If applicable, what is the current shoreline master program designation of the site?**

The project site is not within a designated shoreline master program area.

- h. Has any part of the site been classified as a critical area by the city or county? If so, specify.**

No part of this project site has been classified as a critical area.

i. Approximately how many people would reside or work in the completed project?

The expansion will be a clinic, so there will be no residents in the building. The expansion will not increase the number of clinic employees. Approximately 10 employees will move their workplace from the existing clinic to the expansion.

j. Approximately how many people would the completed project displace?

As there is no residential structure located onsite, nobody will be displaced by this project.

k. Proposed measures to avoid or reduce displacement impacts, if any.

Not applicable as the project will not displace any people.

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any.

This proposed hospital clinic expansion is in a commercially zoned area, so it is compatible with the existing land uses and zoning. The project will not alter existing or proposed land uses and plans.

m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any:

This project will have no impact on agricultural and forest lands of long-term commercial significance.

9. Housing

[Find help answering housing questions](#)¹²

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

There will be no housing units associated with this project.

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

No residential units will be removed from the site as part of this project.

c. Proposed measures to reduce or control housing impacts, if any:

This project has no impact on housing.

¹² <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-9-Housing>

10. Aesthetics

[Find help answering aesthetics questions](#)¹³

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?**

The building will be 24 feet tall at its highest point. The principal exterior materials will be thermos-spruce siding and metal roofing.

- b. What views in the immediate vicinity would be altered or obstructed?**

The residential home located directly across Ash Street from the project site (306 1st Avenue South) will now have a view of the clinic expansion, rather than an empty lot. There are no other properties that will be visually affected by this project.

- c. Proposed measures to reduce or control aesthetic impacts, if any:**

The thermo-spruce siding that is proposed for both the existing clinic and expansion was thoughtfully chosen to fit well with the surrounding Pacific Northwest aesthetic. Ground cover and native grasses will be properly maintained to enhance the currently overgrown landscaping. The paved parking lot will eliminate dust and gravel on Ash St caused by vehicles exiting the existing parking lot.

11. Light and glare

[Find help answering light and glare questions](#)¹⁴

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?**

Interior and exterior lights will be installed on the new building. These lights will only be on during business hours, from 8am-6pm daily.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?**

Light and glare emitting from the building will not be considered a safety hazard or interfere with views.

- c. What existing off-site sources of light or glare may affect your proposal?**

There are no known sources of off-site light or glare that would affect the proposed project.

- d. Proposed measures to reduce or control light and glare impacts, if any:**

Proposed exterior light poles will not exceed 18 feet in height and will have built-in anti-glare shields.

¹³ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-10-Aesthetics>

¹⁴ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-11-Light-glare>

12. Recreation

[Find help answering recreation questions](#)

- a. What designated and informal recreational opportunities are in the immediate vicinity?**

There are no recreational opportunities in the immediate vicinity of the project. Boating activities occur at the Port of Ilwaco, located about a mile to the south of the project. High school sports and activities take place at Ilwaco High School, located 0.3 miles northwest of the project site.

- b. Would the proposed project displace any existing recreational uses? If so, describe.**

This project will not displace any existing recreational uses.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:**

As this project will not permanently displace or have any permanent impacts on existing recreational uses, there are no proposed measures to reduce or control impacts on recreation.

13. Historic and cultural preservation

[Find help answering historic and cultural preservation questions](#)¹⁵

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers? If so, specifically describe.**

There are no buildings or structures over 45 years old on the project site. The house directly north of the project site is 70 years old and is a private residence. This residence will not be affected by the project. Per the Department of Archaeology and Historic Preservation (DAHP) database, there are no historic or eligible properties within the project vicinity.

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.**

We are not aware of any landmarks, features, or other evidence of Indian or historic use or occupation in the project area, or of any material evidence, artifacts, or areas of cultural importance on or near the site. The DAHP database does not indicate the presence of any of these features on the project site.

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.**

¹⁵ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-13-Historic-cultural-p>

The DAHP database was used to assess potential impacts to cultural and historical resources.

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.**

Project impacts will be limited to the area necessary to complete the project. No historic properties will be impacted by the proposed project; no minimization is required.

14. Transportation

[Find help with answering transportation questions](#)¹⁶

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.**

Highway 101 (known locally as 1st Avenue North) borders the site to the west, but there is no site access from Highway 101. The existing building and parking lot access is via Ash Street to the north. The existing gravel parking lot borders Ash St, with vehicles parking in aisles parallel to the street. The proposed paved parking layout will maintain aisle parking while integrating a one-way-in lane for emergency vehicle access and dropoff. See attached plan for more detail.

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?**

The Ilwaco Timberland Library bus stop is located 400 feet south of the project, and the Ilwaco High School bus stop is located 500 feet to the north. The bus route is along Highway 101.

- c. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle, or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).**

A private sidewalk will be located directly within the property line, to the north of the clinic. This sidewalk will connect to the existing clinic walkway and provide access to the rest of the hospital facilities. No public roads, streets, pedestrian or bicycle paths, or transportation facilities are proposed.

- d. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.**

The project is not in the immediate vicinity of water, rail, or air transportation.

¹⁶ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-B-Environmental-elements/Environmental-elements-14-Transportation>

- e. **How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?**

This proposal will not result in increased client or commercial vehicular trips to the clinic.

- f. **Will the proposal interfere with, affect, or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.**

During the utility installation in the right-of-way, the east lane of Highway 101 will be closed. Vehicles transporting agricultural or forest products will need to navigate with the guidance of traffic control flaggers. Upon completion this proposal will not affect traffic of any kind.

- g. **Proposed measures to reduce or control transportation impacts, if any:**

Traffic control including lane closure and flagging will be required along the northbound lane of Highway 101 and in Ash Street while construction associated with utility connections is taking place.

15. Public services

[Find help answering public service questions¹⁷](#)

- a. **Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.**

No, the project is not anticipated to increase the need for public services. The project will increase health care availability in the community of Ilwaco, thus fulfilling a community need.

- b. **Proposed measures to reduce or control direct impacts on public services, if any.**

None.

16. Utilities

[Find help answering utilities questions¹⁸](#)

- a. **Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other:**

¹⁷ <https://ecology.wa.gov/regulations-permits/sepa/environmental-review/sepa-guidance/sepa-checklist-guidance/sepa-checklist-section-b-environmental-elements/environmental-elements-15-public-services>

¹⁸ <https://ecology.wa.gov/regulations-permits/sepa/environmental-review/sepa-guidance/sepa-checklist-guidance/sepa-checklist-section-b-environmental-elements/environmental-elements-16-utilities>

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

The following utilities are confirmed to be located in the right-of-way adjacent to the project site. All are required to be connected to the expansion via the existing clinic or by new connection to the public main.

Water – City of Ilwaco

Project will connect to public utility with a water meter and necessary backflow assemblies. This will require trenching and excavation on the project site and in public right-of-way. Pavement will be patched and the trench backfilled to spec standards. The connection will hot-tap into the public main.

Sanitary Sewer – City of Ilwaco

Project will connect to public utility with a cleanout on the lateral service. This will require trenching and excavation on the project site and in public right-of-way. Pavement will be patched and the trench backfilled to spec standards. The connection will tee into the public main.

Telecommunications – Pacific County PUD #2

Telecommunication infrastructure will be routed through the existing clinic building to the new expansion.

Power – Pacific County PUD #2

The electrical that currently services the clinic will need to be rerouted around the building expansion to the north. A proposed transformer for the new building will be installed. Trenching will be required for utility line installation. The underground connection will be reestablished at the power pole at the southwest corner of the site. A concrete pad will be installed for the transformer.

C. Signature

[Find help about who should sign](#)¹⁹

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

X 

Type name of signee: Merry-Ann Keane

Position and agency/organization: CEO Ocean Beach Health

Date submitted: 2/23/2026

D. Supplemental sheet for nonproject actions

[Find help for the nonproject actions worksheet](#)²⁰

Do not use this section for project actions.

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

- Proposed measures to avoid or reduce such increases are:

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

- Proposed measures to protect or conserve plants, animals, fish, or marine life are:

¹⁹ <https://ecology.wa.gov/Regulations-Permits/SEPA/Environmental-review/SEPA-guidance/SEPA-checklist-guidance/SEPA-Checklist-Section-C-Signature>

²⁰ <https://ecology.wa.gov/regulations-permits/sepa/environmental-review/sepa-guidance/sepa-checklist-guidance/sepa-checklist-section-d-non-project-actions>

3. How would the proposal be likely to deplete energy or natural resources?

- **Proposed measures to protect or conserve energy and natural resources are:**

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection, such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

- **Proposed measures to protect such resources or to avoid or reduce impacts are:**

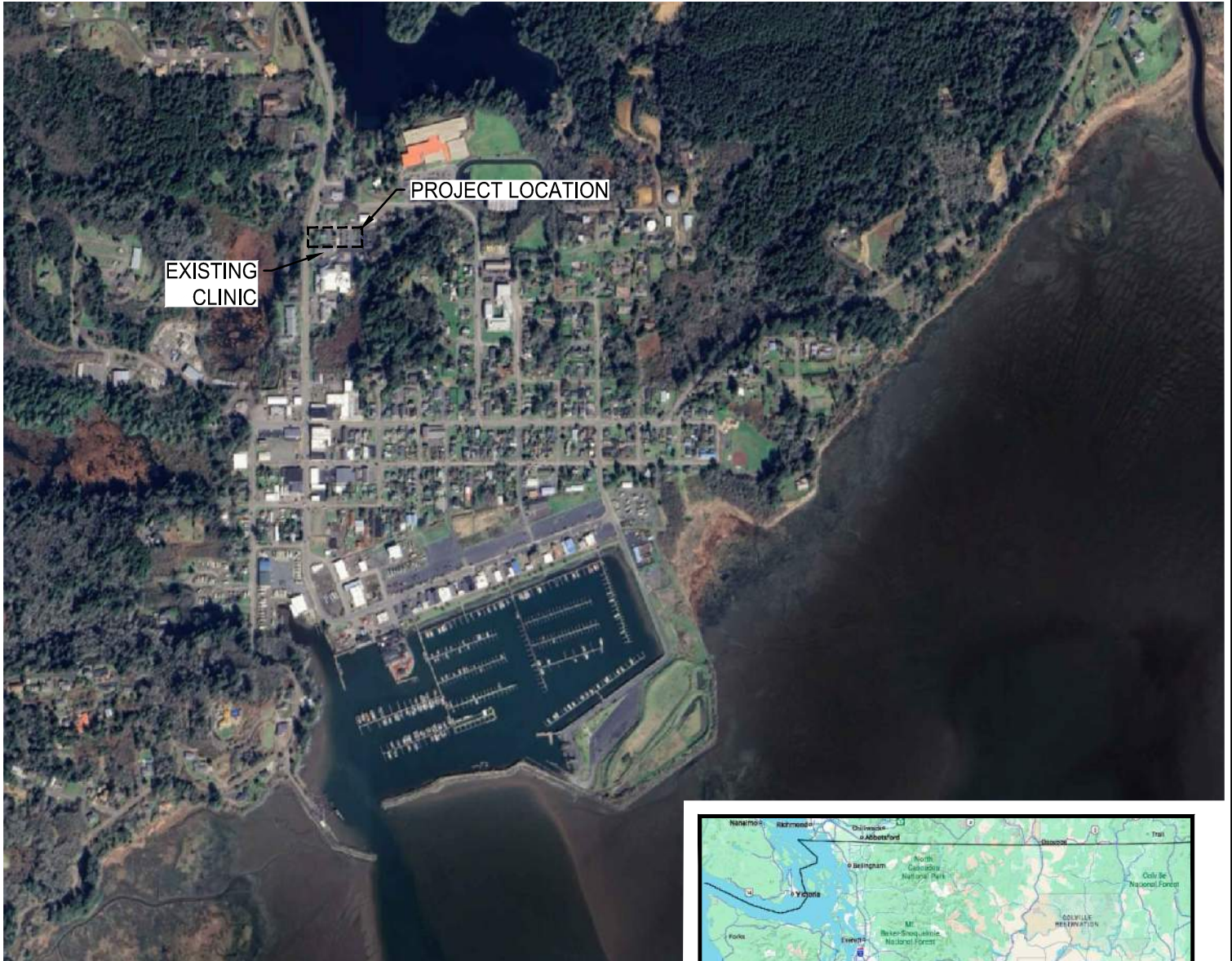
5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

- **Proposed measures to avoid or reduce shoreline and land use impacts are:**

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

- **Proposed measures to reduce or respond to such demand(s) are:**

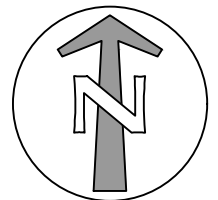
7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.



LOCATED AT (46.312329, -124.042274)
 SEC 33, T10N, R11W

SCALE

1 INCH = 1000 FEET



111 SW Fifth Ave., Suite 2600
 Portland, OR 97204
 O: 503.542.3860
 F: 503.274.4681
 www.kpff.com

SCALE:
 1"=1000'
 JOB NO.:
 2400528
 DATE:
 01/09/2025

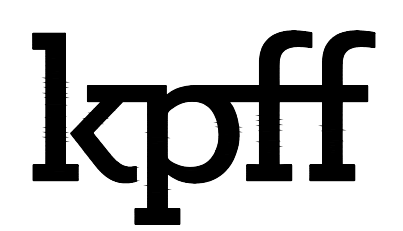
TITLE:
 VICINITY MAP
 PROJECT:
 OCEAN BEACH HOSPITAL
 CLINIC EXPANSION AND EXPRESS CARE

SHEET NO.:
 C1.0
 REFERENCE SHEET NO.:

s:\xirc File: N:\c\p\2024\2400528-OBH-Clinic\PROJ-INFO\Planning-Design\Environmental\SEPA Checklist\CAD\ENV-VMAP.dwg TAB: C1.1



2 NICKERSON STREET, SUITE 200
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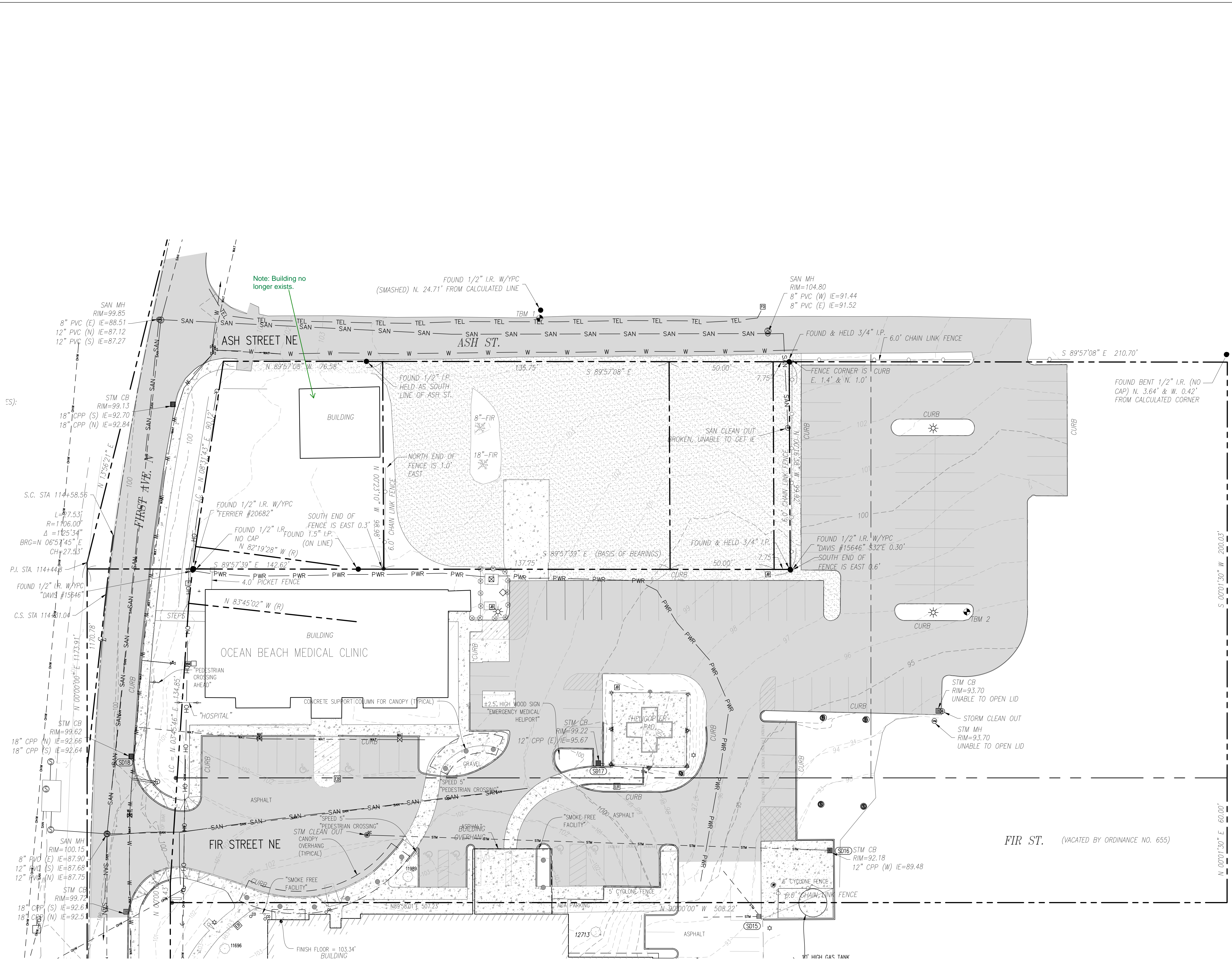
PROJECT P246864.00

OBH CLINIC EXPANSION & EXPRESS CARE

DESIGN DEVELOPMENT

DATE 22 MAY 2025

REVISIONS	DESCRIPTION	DATE
1		



LEGEND:

- FOUND MONUMENT AS NOTED
- ⊙ SITE BENCHMARK
- ⊘ POWER POLE
- ⊛ LIGHT POLE
- ⊙ GUY ANCHOR
- ⊠ ELECTRIC TRANSFORMER
- ⊠ ELECTRIC JUNCTION BOX OR PEDESTAL
- ⊠ SIGN AS NOTED
- ⊠ BOLLARD
- ⊠ CONIFEROUS TREE (TRUNK DIAMETER-SPECIES)
- ⊠ STORM DRAIN MAN HOLE
- ⊠ STORM DRAIN CATCH BASIN
- ⊠ CLEAN OUT AS NOTED
- ⊠ SANITARY SEWER MAN HOLE
- ⊠ SEPTIC LID
- ⊠ WATER VALVE
- ⊠ WATER METER
- ⊠ FIRE HYDRANT
- ⊠ TELEPHONE BOX OR PEDESTAL
- ⊠ FIBER OPTIC JUNCTION BOX OR PEDESTAL
- ⊠ HELI PAD LIGHT
- ⊠ FIBER OPTIC VAULT
- ⊠ WATER VAULT
- SITE BOUNDARY
- WOOD FENCE
- CHAIN LINK FENCE
- TEL TELEPHONE LINE
- SAN SANITARY SEWER LINE
- W WATER LINE
- PWR BURIED POWER LINE
- OH OVERHEAD POWER LINE
- ASPHALT
- CONCRETE
- GRAVEL

BASIS OF BEARINGS

BEARINGS BASED ON HOLDING A BEARING OF S 89° 57' 39" E BETWEEN IRON PIPES ON THE SOUTH LINE OF THE SUBJECT PROPERTY AS SHOWN DURING THE SURVEY RECORDED UNDER BK. 13, PG. 186 AND RECOVERED DURING THIS SURVEY (SHOWN).

BENCHMARK NOTES:

TBM 1: 1/2" I.R. W/ R/C "OLSON ENG CONTROL", ELEV: 104.13'
TBM 2: 1/2" I.R. W/ R/C "OLSON ENG CONTROL", ELEV: 96.56'

NOTES

THE LOCATION OF EXISTING UTILITY FACILITIES HAS NOT BEEN RESEARCHED. UNDERGROUND UTILITIES SHOWN HEREON ARE FROM TIES TO UTILITY PAINT MARKS MADE IN RESPONSE TO "ONE-CALL CONCEPTS" UTILITY NOTIFICATION TICKET NO. 21376470. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES BY THE RESPECTIVE UTILITY OWNERS, NOR THE EXISTENCE OF BURIED OBJECTS WHICH ARE NOT SHOWN ON THIS PLAN.

THE FOLLOWING UTILITY COMPANIES WERE CONTACTED TO LOCATE THEIR UNDERGROUND SERVICES: CABLE TV, TELEPHONE, GAS, ELECTRIC, WATER AND SEWER. UTILITIES ARE SHOWN AS MARKED BY THE ABOVE UTILITY COMPANIES.

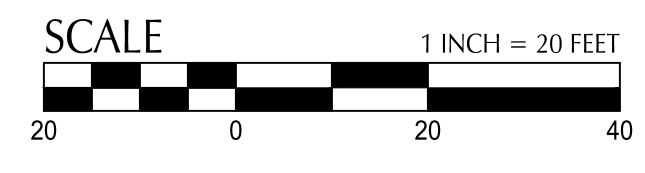
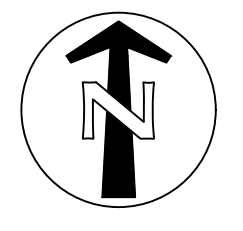
FIELD WORK FOR THIS SURVEY WAS PERFORMED AUGUST, 2021.

ELEVATIONS ARE ASSUMED HOLDING AN ELEVATION OF 104.13' AT TBM 1 AND AN ELEVATION OF 96.56' AT TBM 2.

A TITLE REPORT FROM EMERALD COAST TITLE (NO COMMITMENT NUMBER) DATED SEPTEMBER 21, 2021 WAS PROVIDED FOR THIS SITE HOWEVER NO EASEMENTS NOR ENCUMBRANCES WERE INCLUDED IN THE REPORT.

SURVEY MONUMENTS - ALL SURVEY MONUMENTS SHOWN HEREON, INCLUDING BENCHMARKS SHALL BE PROTECTED FROM DISTURBANCE OR DESTRUCTION SUBJECT TO WAC 332-120 SURVEY MONUMENTS - REMOVAL OR DESTRUCTION IF THE CONSTRUCTION OF NEW FACILITIES CAUSES THE NEED FOR ANY MONUMENT TO BE REMOVED. THE CONTRACTOR IS ADVISED TO CONTACT THE APPROPRIATE LAND SURVEYOR PRIOR TO CONSTRUCTION FOR PERPETUATION OF THE ORIGINAL POSITION SUBJECT TO WAC 332-120-060.

THE BOUNDARY WAS CALCULATED HOLDING HISTORIC IRON PIPES FOUND AND THE DEED DISTANCES FROM AUDITOR'S FILE NO. 3126956. OTHER LINES SHOWN ARE CALCULATED FROM MONUMENTS FOUND OR SET DURING THE SURVEY RECORDED UNDER BK. 13, PG. 186, RECORDS OF PACIFIC COUNTY AND NOT VERIFIED FOR ACCURACY DURING THIS SURVEY.



SHEET TITLE

EXISTING CONDITIONS
PLAN

SHEET NUMBER

C1.00

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 4/25/2025 9:45:36 AM
 Autodesk Docs://246864.00/0BH/Express Care/246864.00/0BH/Express Care.rvt
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PROJECT P246864.00

**OBH CLINIC
EXPANSION &
EXPRESS CARE**

176 1ST AVENUE N.
ILLWACO, WA 98624

PLANNING PACKAGE

DATE 23 DEC 2025

REVISIONS

DESCRIPTION	DATE
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SHEET NOTES

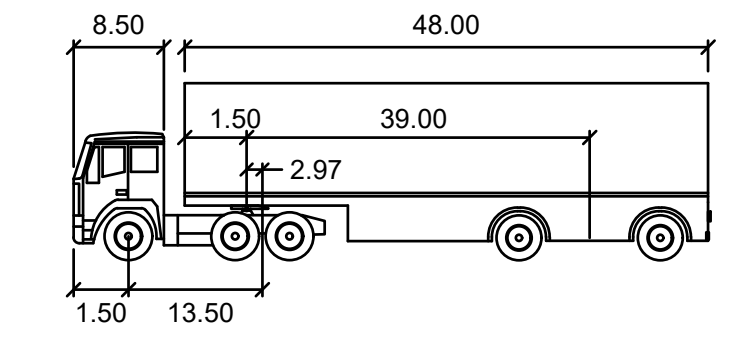
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
- ALL SIDEWALK PAVEMENT JOINTS SHALL BE CONSTRUCTED PER DETAIL 15/C7.00.

KEY NOTES

#	DESCRIPTION	DETAIL REF.
1	SAWCUT LINE	
2	STANDARD CURB	10/C7.00
3	CURB ENDING	18/C7.00
4	INSTALL WHEEL STOPS IN EXISTING PARKING STALLS AND PROPOSED ADA PARKING STALLS	6/C7.00
5	CONCRETE SIDEWALK	12/C7.00
6	ADA PARKING STALLS AND STRIPING	9/C7.00
7	4" WIDE WHITE STRIPE	17/C7.00
8	CURB RAMP TYPE 1, 2	13,14/C7.00
9	MOBILE MRI PAD	11/C7.00
10	CROSSWALK STRIPING	18/C7.00
11	CONNECT TO EXISTING SIDEWALK	
12	STAIRS - 4 TREADS	
13	"DO NOT ENTER" SIGN	
14	INSTALL NO PARKING STRIPING PER DIMENSIONS PROVIDED ON ADA PARKING AND SOUTH SIDES OF THE ADA PARKING AND MOBILE MRI CONCRETE PADS.	3/C7.00
15	CONSTRUCT CONCRETE TO ASPHALT TRANSITION ON THE NORTH, EAST, AND SOUTH SIDES OF THE ADA PARKING AND MOBILE MRI CONCRETE PADS.	
16	DIRECTIONAL ARROW	19/C7.00

SHEET LEGEND

	PROPERTY LINE
	SAWCUT LINE
	CONCRETE SIDEWALK
	STANDARD ASPHALT PAVEMENT
	CONCRETE PAVEMENT

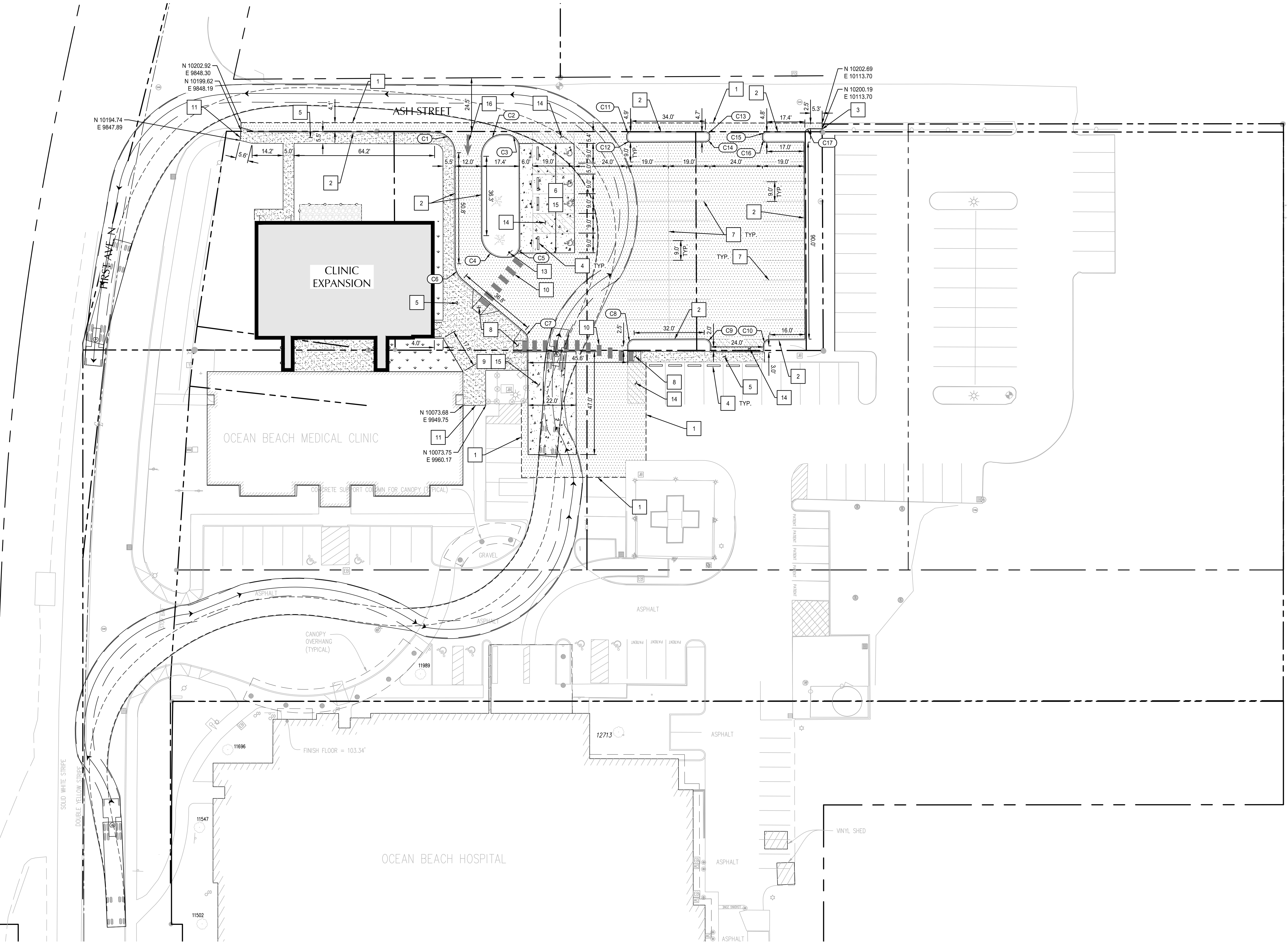
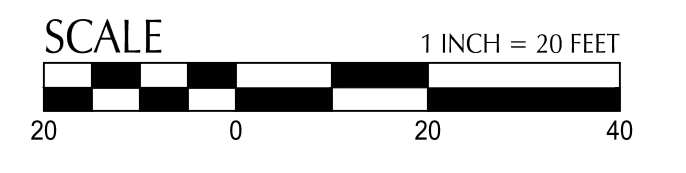
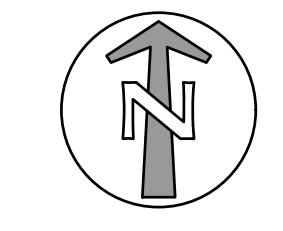


Mobile MRI

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 14.5
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

Curve Table			
Curve #	Length	Radius	Delta
C1	14.878	9.500	089.7315
C2	15.674	10.000	089.8056
C3	9.396	6.000	089.7225
C4	15.743	10.000	090.2011
C5	8.636	5.500	089.9641
C6	8.237	9.500	049.6796
C7	4.362	5.000	049.9818
C8	4.712	3.000	090.0000
C9	4.712	3.000	090.0000
C10	4.710	3.000	089.9470
C11	3.141	2.002	089.8869
C12	3.153	2.000	090.3254
C13	3.130	2.000	089.6761
C14	3.142	2.000	089.9985
C15	3.143	2.000	090.0479
C16	3.149	2.000	090.2184
C17	3.142	3.000	060.0000

KEYPLAN - AREA OVERALL



2/2/2025 11:21:16 AM
 FILE: N:\10\102043\000238-OBH-Clinic\CD\PLN\01\040238-C3.00-SIT-AREA TRACKS.DWG
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SHEET TITLE

SITE PLAN

SHEET NUMBER

C3.00



2 NICKERSON STREET, SUITE 200
SEATTLE, WASHINGTON 98109
206.957.6400

RANGE
Range Studio, LLC
2222 NE Oregon St
Suite 213
Portland OR 97232
971.268.8510
range-studio.com

PROJECT P246864.00

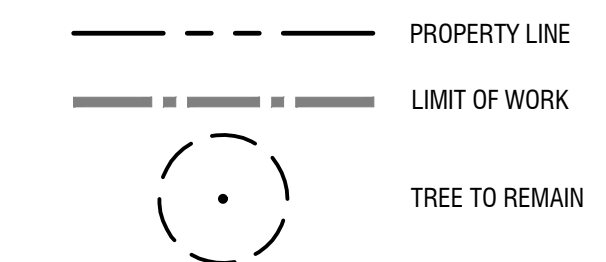
**OBH CLINIC
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EXPRESS CARE**

176 1ST AVENUE N.
ILLWACO, WA 98624

DD PROGRESS SET

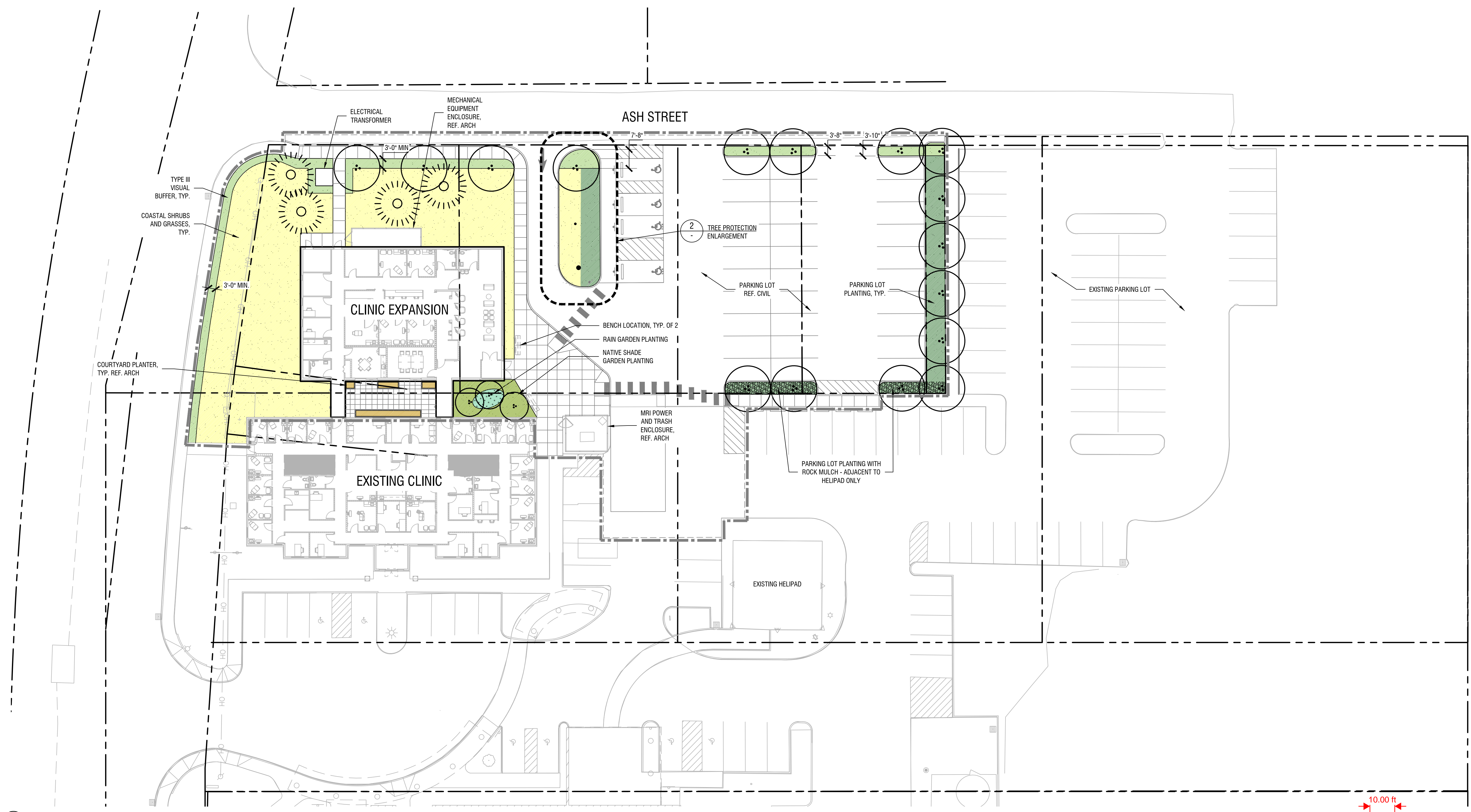
DATE	4 FEB 2026
REVISIONS	
#	DESCRIPTION DATE

GENERAL LEGEND

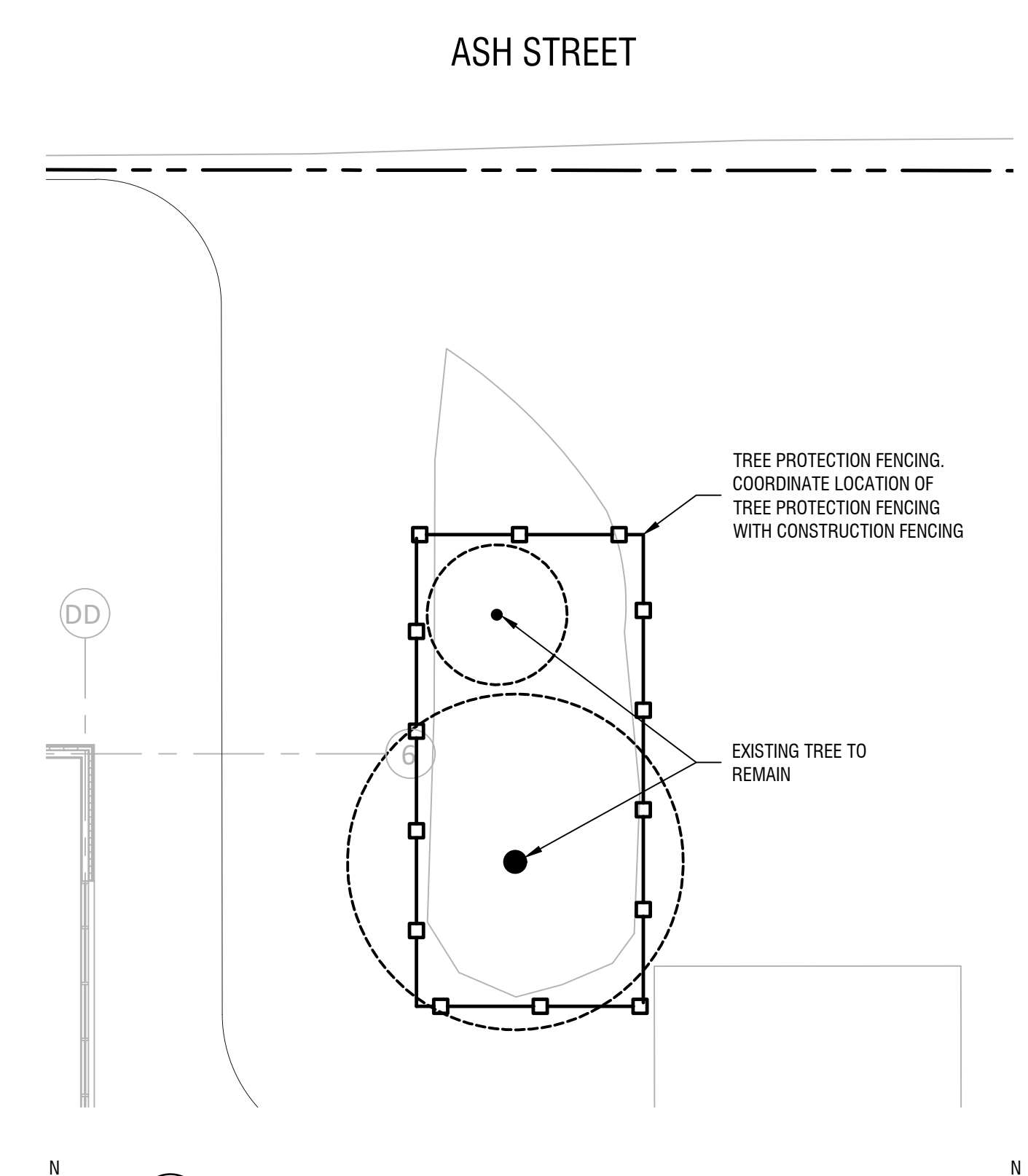


MAINTENANCE NOTES

- NO PERMANENT IRRIGATION WILL BE INSTALLED. HOSE BIBS WILL BE MADE AVAILABLE FOR WATERING ALL PLANT MATERIAL AS NECESSARY TO ENSURE PLANT SURVIVAL.
- ALL TREES WILL RECEIVE GATOR WATERING BAGS TO BE MONITORED AND FILLED BY THE OWNER.



1 PLANTING PLAN
SCALE: 1"=20'-0"



2 TREE PROTECTION - ENLARGEMENT
SCALE: 1"=10'-0"

PLANT SCHEDULE

TREES					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
	ACER CIRCINATUM	VINE MAPLE	2" CAL./B&B	AS SHOWN	MULTI-STEM
	ACER GLABRUM	ROCKY MOUNTAIN MAPLE	2" CAL./B&B, BRANCHED AT 6' HT.	20' O.C.	
	ALNUS RUBRA	RED ALDER	3" CAL./B&B	30' O.C.	TYPE III LANDSCAPE
	PINUS CONTORTA	SHORE PINE	10-12' HT.	AS SHOWN	
	RHAMNUS PURSHIANA	CASCARA	3" CAL./B&B, BRANCHED AT 6' HT.	30' O.C.	TYPE III LANDSCAPE

PARKING LOT					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	5 GAL.	36" O.C.	SHRUB
	ACHILLEA MILLEFOLIUM	COMMON YARROW	4" POT	36" O.C.	PERENNIAL
	CEANOTHUS 'PT. REYES'	PT. REYES CEANOTHUS	1 GAL.	36" O.C.	SHRUB
	KOELERIA MACRANTHA	PRAIRIE JUNEGRASS	4" POT	12" O.C.	GRASS
	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL.	18" O.C.	GRASS

COASTAL SHRUBS AND GRASSES					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
	ACHILLEA MILLEFOLIUM	COMMON YARROW	4" POT	36" O.C.	PERENNIAL
	ACHILLEA 'TERRACOTTA'	TERRACOTTA YARROW	4" POT	24" O.C.	PERENNIAL
	ALLIUM SPP.	NODDING ONION	4" POT	18" O.C.	BULB
	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	1 GAL.	36" O.C.	GROUND COVER
	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	5 GAL.	36" O.C.	SHRUB
	CAMASSA QUAMASH	SMALL CAMAS	BULB	AS SHOWN	BULB
	CALLUNA SPP.	HEATHER SPP.	1 GAL.	12" O.C.	SHRUB
	CAREX TUMULICOLA	FOOTHILLS SEDGE	4" POT	12" O.C.	GRASS
	CAREX PACHYSTACHA	CHAMISSO SEDGE	4" POT	12" O.C.	GRASS
	ERICA SPP.	HEATH SPP.	1 GAL.	24" O.C.	SHRUB
	ERIGERON SPECIOSUS	ASPEN FLEABANE	1 GAL.	18" O.C.	PERENNIAL
	FRAGARIA CHLIDENSIS	BEACH STRAWBERRY	1 GAL.	18" O.C.	GROUND COVER
	KOELERIA MACRANTHA	PRAIRIE JUNEGRASS	4" POT	12" O.C.	GRASS
	LEYMUS MOLLIS	AMERICAN DUNE GRASS	1 GAL.	36" O.C.	GRASS
	MAHONIA NERVOSA	DULL OREGON GRAPE	1 GAL.	24" O.C.	SHRUB
	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	5 GAL.	72" O.C.	SHRUB
	RUBROCKIA TRILOBA 'PRAIRIE YELLOW'	PRAIRIE YELLOW CONEFLOWER	4" POT	18" O.C.	PERENNIAL
	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL.	18" O.C.	GRASS
	LATHYRUS JAPONICUS	BEACH PEA	SEED		PERENNIAL
	LUPINUS LITTORALIS	SEASHORE LUPINE	SEED		PERENNIAL
	TANACETUM BIPINNATUM	DUNE TANSY	SEED		PERENNIAL

TYPE III: VISUAL BUFFER LANDSCAPE					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	5 GAL.	36" O.C.	SHRUB 48" HT. AT MATURITY
	CEANOTHUS THYRSIFLORUS VAR. GRISEUS 'KURT ZADNICK'	KURT ZADNICK CEANOTHUS	1 GAL.	54" O.C.	SHRUB 36" HT. AT MATURITY
	LEYMUS MOLLIS	AMERICAN DUNE GRASS	1 GAL.	36" O.C.	GRASS 36"-48" HT. AT MATURITY
	ROSMARINUS OFFICINALIS 'TICONDEROGA'	TICONDEROGA ROSEMARY	1 GAL.	36" O.C.	SHRUB 60" HT. AT MATURITY

RAIN GARDEN					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
	CAREX DIPSAECA	AUTUMN SEDGE	1 GAL.	24" O.C.	GRASS
	IRIS TENAX	OREGON IRIS	1 GAL.	18" O.C.	PERENNIAL
	MAHONIA NERVOSA	DULL OREGON GRAPE	1 GAL.	2" O.C.	SHRUB
	POLYSTICHUM MUNITUM	SWORD FERN	1 GAL.	30" O.C.	FERN
	STRUTHIOPTERIS SPICANT	DEER FERN	1 GAL.	18" O.C.	FERN

NATIVE SHADE GARDEN					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
	GAULTHERIA SHALLOM	SALAL	1 GAL.		SHRUB
	MAHONIA REPENS	CREeping MAHONIA	1 GAL.		SHRUB
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL.		FERN
	ROSA WOODSII	WOODS ROSE	1 GAL.		SHRUB

TYPE III VISUAL LANDSCAPE BUFFER NOTES:
PER ILLWACO MUNICIPAL CODE CHAPTER 15.47.080 (E), LOW - DENSITY COMMERCIAL C-2 ZONES ARE TO HAVE A MINIMUM OF 3' DEPTH TYPE III LANDSCAPING ALONG ALL PROPERTY ABUTTING PUBLIC RIGHTS-OF-WAY. ADDITIONAL STREET TREES MAY BE ADDED IF SPECIFIED BY THE CITY PLANNER.

DESIGN INTENT: WHERE POSSIBLE, PLANTINGS IN THIS AREA ARE INTENDED TO BLEND AND TRANSITION GRADUALLY INTO ADJACENT PLANTED AREAS TO ACHIEVE CODE REQUIRED VISUAL SEPARATION AND SOFTENING THE APPEARANCE OF STREETS, PARKING LOTS AND BUILDING FACADES.

COURTYARD PLANTINGS					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
	ATHYRIUM FILIX-FEMINA	LADY FERN	4" POT		FERN
	CAREX SPP.	SEDGE	4" POT		PERENNIAL
	HEUCHERA SPP.	CORALBELL	4" POT		PERENNIAL
	MAHONIA 'SOFT CARESS'	SOFT CARESS MAHONIA	1 GAL.		SHRUB

TREE PROTECTION NOTES

- TREE PROTECTION ZONE IS THE AREA RESERVED AROUND A TREE OR GROUP OF TREES IN WHICH NO GRADING, EQUIPMENT ACCESS, STOCKPILING, OR OTHER CONSTRUCTION ACTIVITY SHALL OCCUR. THE TREE PROTECTION ZONE IS DEFINED BY THE TREE PROTECTION FENCING.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR OTHER SITE DEMOLITION AND EROSION CONTROL.
- LOCATE ALL UNDERGROUND, SURFACE AND OVERHEAD UTILITIES PRIOR TO ANY WORK. CALL FOR LOCATES AND COORDINATE WITH UTILITY SERVICE PROVIDERS.
- ADJUST LOCATION OF TREE PROTECTION FENCING AND PERFORM WORK WITHIN THE TREE PROTECTION ZONE ONLY UNDER SUPERVISION OF A CERTIFIED ARBORIST.
- TAKE EXTRA CARE IN EXCAVATING AREAS ADJACENT TO EXISTING AND PROPOSED UNDERGROUND UTILITIES. REFERENCE CIVIL DRAWINGS FOR UTILITY INFORMATION. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S OWN EXPENSE.
- ASCERTAIN ALL FACTS CONCERNING CONDITIONS TO BE FOUND AT THE LOCATION OF THE PROJECT INCLUDING ALL PHYSICAL CHARACTERISTICS ABOVE AND BELOW THE SURFACE OF THE GROUND AND TO FULLY EXAMINE THE PLANS AND SPECIFICATIONS. ANY DISCREPANCIES IN DIMENSIONING OR LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE AGENCY PRIOR TO THE ALTERATION OF ANY PLANTING.
- ALL WORK SHALL CONFORM TO THE CURRENT APPLICABLE BUILDING CODES AND ORDINANCES. IN THE CASE OF CONFLICT OCCURRING WHERE METHODS / STANDARDS, INSTALLATION OR THE MATERIAL SPECIFIED DO NOT MEET OR EXCEED THE REQUIREMENT OF THE CODES OR ORDINANCES, THE CODES SHALL GOVERN. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT PRIOR TO CONSTRUCTION.
- VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EACH PHASE OF CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK. WHERE CONFLICT IS IDENTIFIED, COST OF PROCEEDING WITHOUT OWNER'S REPRESENTATIVE WRITTEN CLARIFICATION AND AUTHORIZATION TO PROCEED SHALL BE AT THE CONTRACTOR'S EXPENSE.

SHEET TITLE

**LANDSCAPE PLAN
OVERALL**

SHEET NUMBER

L1.00

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SITE PLAN REVIEW SUBMITTAL CHECKLIST



Master Planning Permit Application Form



Vicinity Map

- Owner's name and mailing address.
- Contact person's name, mailing address and phone number.
- North arrow, scale and date.
- Proposed name of project.
- Subject property identified and other landmarks within ¼ mile.



Site Plan

Existing conditions:

- Topography at two-foot contour intervals, or other intervals if not available from a public source.
- Water courses.
- FEMA floodplain and floodway.
- Designated shorelines.
- Wetland boundaries.
- Configuration, dimensions and areas of all parcels.
- Location, dimensions and use of all buildings on site.
- Location, dimensions and use of all easements.
- Name, location and width of all adjacent rights-of-way.
- Location of existing on-site driveways, those across the street and on adjacent properties.
- Location of fire hydrant nearest the subject property.

Proposed improvements:

- Configuration and dimensions of project boundaries, including open space, drainage tracts and easements.
- Location (distance to property line) dimensions, floor area and proposed use of all existing buildings to remain and the same information for all proposed buildings.
- Location and width of all driveways.

- Location and width of all proposed rights-of-way.
- Location of pedestrian and transit facilities.
- Location and design of all off-street parking and loading areas.
- Location of landscaped areas showing the variety and size of plants and method of maintenance.
- Location, size and height of all signs.



Narrative

- How the proposed use in the proposed location will not be detrimental to other uses legal existing or permitted outright in the zoning district.
- How the size of the site is adequate for the use.
- How traffic generated by the proposed use will not unduly burden the traffic circulation system in the vicinity.
- How the other performance characteristics of the proposed use are compatible with those of other uses in the neighborhood or vicinity.
- How adequate buffering devices such as fencing, landscaping or topographic characteristics protect adjacent properties from adverse effects of the proposed use, including adverse visual or auditory effects.
- How the other uses in the vicinity of the subject property are such as to permit the proposed use to function effectively.
- How the proposed use complies with the performance standards, parking requirements and other applicable provisions of Municipal Code Title 15.



SEPA Environmental Checklist, if project is not exempt from SEPA (see IMC 15.50.010.C).



Application fees (see Ilwaco Fee Schedule)